

**Boars Head, Church Lane
Newchurch, Rossendale
Lancashire, BB4 9EH**



**Design and Access Statement
December 2010**

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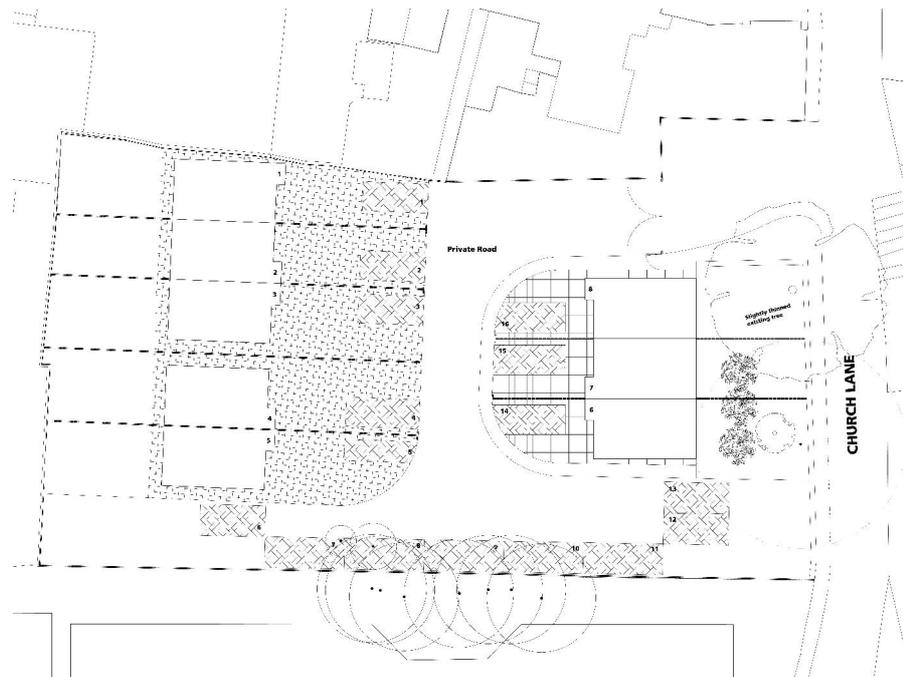
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1.0 Proposals

1.1 Site

The site is located off Church Lane, near to the centre of Newchurch, Rossendale, Lancashire. The site area is 0.1897 ha and is the land to the rear (South) of the Boars Head Pub on Church Street, and is presently occupied by a bowling green and a car park associated with the pub. The bowling green is topographically flat, Church Lane has a slope down towards the South. On the opposite side of Church Lane is the St. Nicholas's Church, which was built in 1826. To the south of the development site is a care home building, probably less than 30 years old, which is of orange brickwork external wall and with a hipped, tiled roof.

1.2 Site Plan



1.3 Accommodation

The proposal is for 8 No. 4 bedroom town houses at 88m², with 2 car parking spaces per dwelling. This equates to 42 dwellings per hectare. The houses are for private sale.

1.4 House Plans



2.0

Second Floor

First Floor

Ground Floor

2.1 Scale

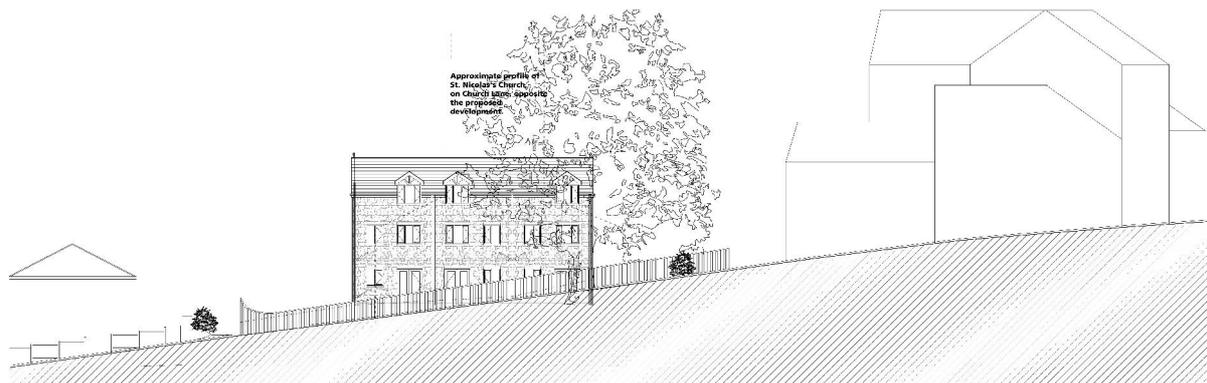
The houses are to be 3 storeys with the second floor in the roof space with dormer windows to take advantage of the views over the valley and hills. The accommodation provided is maximised whilst maintaining a discreet profile in the setting. The neighbouring buildings are predominantly 2 storeys, although the Boar's Head pub itself is 3 storey. The church is detached and has a strong physical presence and scale befitting of it's status in the town of Newchurch. The context elevations submitted show the development in relation to the adjacent properties and an approximate profile of the church is indicated to show respect.

2.2 Appearance

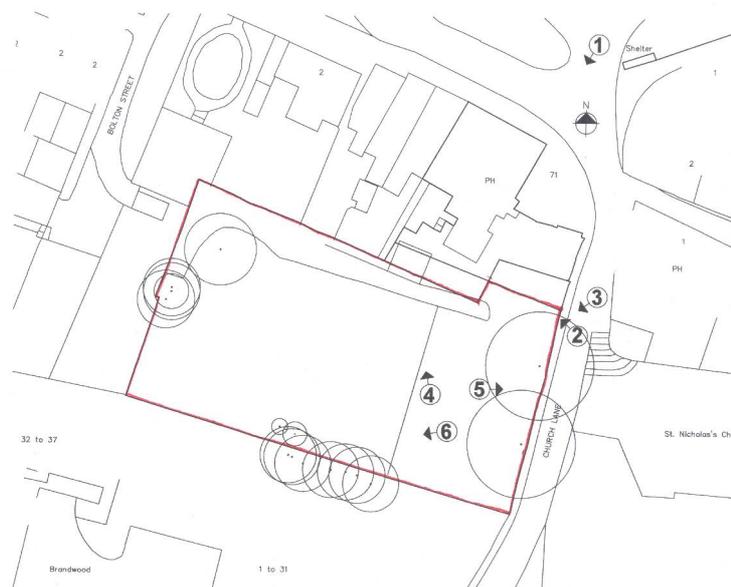
The materials are to be of reconstituted stone for the external walls and artificial slate for the roof finish in reference to the materials and heritage of the historic buildings of Newchurch. UPVC windows and doors are to be proposed to achieve a high standard of thermal performance and security with respect to building regulations and community issues. The new properties have gable to their side elevations to contribute to the strength of the appearance in a similar manner to buildings of the established vernacular.

We have chosen both reconstituted stone and artificial slate as the neighbouring buildings appear to also be made of these materials.

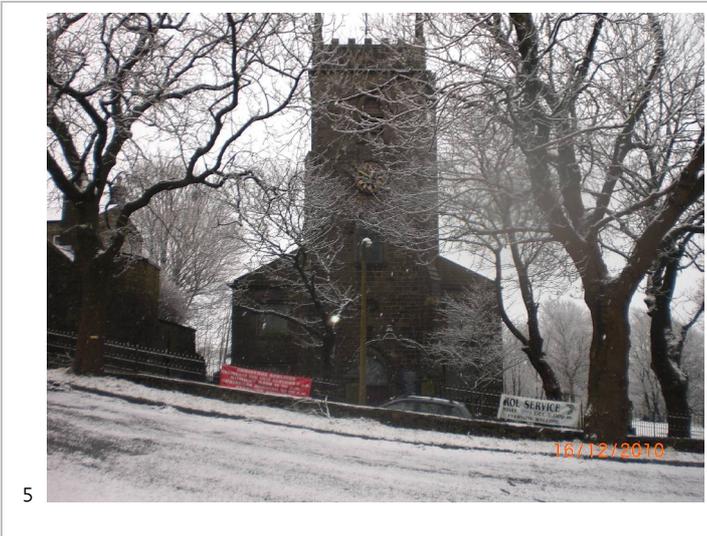
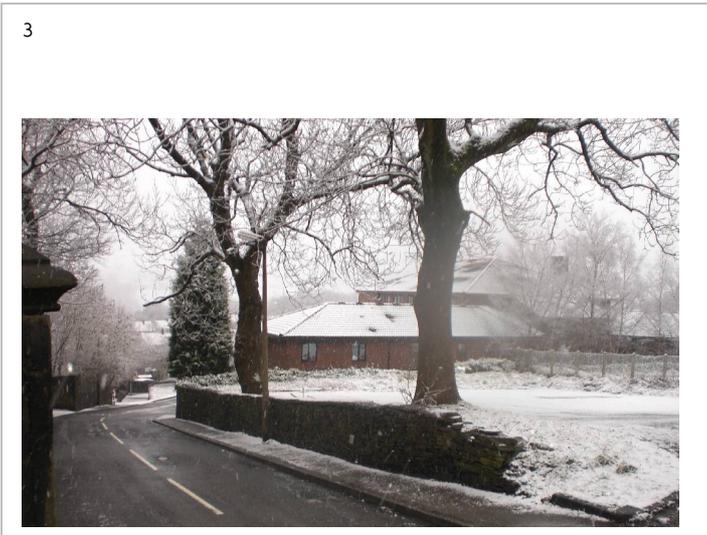
2.3 Church Lane Elevation



2.4 Site Photographs



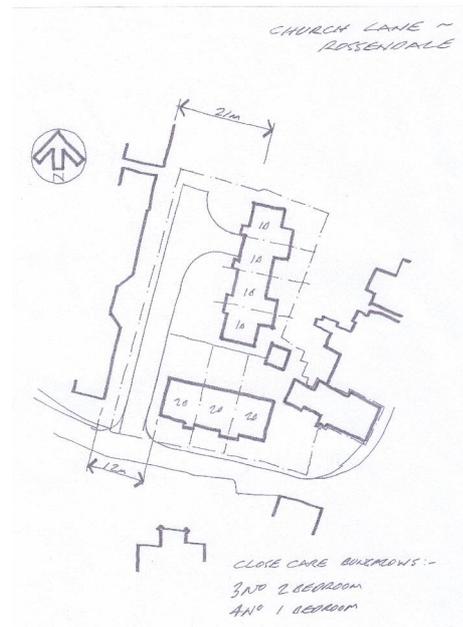
References, see over.



3.1 Feasibility and development of site layout.



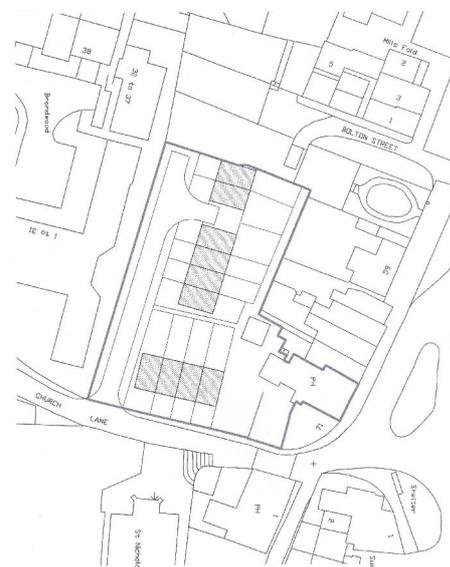
A scheme for extra care apartments and bungalows was considered but feedback suggested that there was no local housing need for this type of accommodation.



A scheme for close care bungalows was considered but feedback suggested that there was no local housing need for this type of accommodation.



4 No large houses with 4/5 bedrooms was considered but again there is no need for accommodation of this size in the area.



A proposal for 10 family houses was considered but thought to be too dense and unable to allow for adequate car parking provision.

3.2 Site Access

The site access is located to the South of the site so the access road is positioned next to the Public House to maximise the development potential for the accommodation and create more distance between the houses and the Pub to minimise overlooking.

3.3 Landscaping

An efficient road layout enables a greater space is allowed for gardens to the front and rear of properties. A small paved area is made for a patio area to the rear, but gardens will mostly be grassed with shrubs to the boundaries for the consideration of wildlife.

3.4 Boundary Treatment

1.8m timber fences to be provided to the rear of the properties for security. 900mm timber fences to establish the front boundary with 1500mm timber fences between rear gardens. The original stone wall near church lane is to be retained.

3.5 Access

Finished floor levels are indicated on the site plan to achieve 1:20 gradient to the property by footpath.

3.6 Trees

Two trees near to the Church Lane are to be retained and several overcrowded ones to the rear of the site are to be removed, but new trees will be planted in accordance with the requirements of the Local authority arboricultural consultant.

3.7 Transport

A bus stop is located within 50m of the site allowing transport, with regular services to Bury Burnley and Rawtenstall as an alternative to the car. Local shops and amenities are in walking distance.

4.0 Planning Policy

The development will contribute to the future housing need in the area, as identified in the Rossendale District Local Plan 1995 for quality homes in accordance with present building regulations.

5.0 Consultations

5.1 Planning

Rossendale planning authority were consulted, by Gary Taylor of Crystal Properties late 2010, for feedback prior to the submission of the accompanying planning application with regard the site usage, overlooking distances, constraints and car parking provision.

5.2 Neighbours

The care home was consulted with regard to assessing need for a care provision in the locality.

5.3 PPG17

We have taken professional advice and been informed that this is not a public sports facility. It is a private pub bowling green and as such sport england and PPG17 factors do not apply.

6.0 Conclusion

6.1 Assessment

The scheme has been development to be compatible with the scale and density of the surrounding area, and of materials, layout, landscaping and security which respect the character of the established built fabric of Newchurch.